

**Filey**

6.40 The “Filey Conservation Area: Character Appraisal and Management Proposals” document provides a more detailed assessment of the character areas within the town. Again, the areas and positive characteristics identified within this SPD seeks to capture the high-level points and are not a substitute for further empirical research, be that in the form of additional desk-based analysis or on the ground surveys.

6.41 Filey can be broken down into the following character areas.

- Historic Fishing Village
- Seafront
- Suburbs
- Crescent and West Avenue
- Town Centre
- Station Avenue Terraces



Figure 6.85: The Beach, Filey



Figure 6.86: The Crescent, Filey

Historic Fishing Village (Queen Street)

6.42 Filey developed principally as a fishing village, with the associated traditional terraced cottages erected along what are now known as Church Street (in the west) and Queen Street. While there has been some unsympathetic infill redevelopment (e.g. along Ravine Top and Providence Place) the area retains much of its original layout and character, particularly within the designated Conservation Area where a mix of red brick, stone and rendered buildings with clay pantile roofs and simple detailing / proportions are still present.

Positive characteristics:

- High-density terraced cottages (up to 80 dph)
- Linear pattern of development with burgage plot layouts
- Mix of 2-3 storey cottages along Queen Street with some larger Georgian buildings along Church Street
- Narrow frontages immediately addressing the street with perpendicular 'outrigger' extensions behind
- Mix of materials – red brick, stone and render and with clay pantile roofs (some slate)
- Traditional detailing - cills, lintels, windows and doors in reveal, etc.



Figure 6.87: Church Street



Figure 6.99: Figure-ground diagram



Figure 6.89: Church Street



Figure 6.90: Queen Street (West)

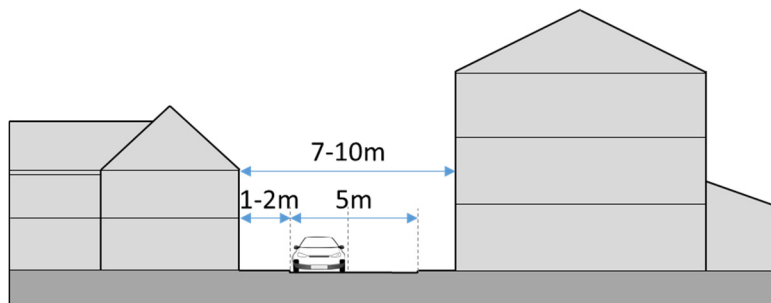


Figure 6.91: Typical street section (Queen Street)



Figure 6.92: Queen Street



Figure 6.93: Queen Street

Town Centre

6.43 The town centre area connects the historic fishing village in the north of the town to the Victorian resort area in the south (The Crescent and surrounds). It comprises an eclectic mix of purpose built commercial properties (banks, post office, etc.) and domestic (mostly) Victorian era buildings which have been adapted to incorporate shop fronts at ground floor level. While some of the original character of the area has been eroded through poor quality alterations, a number of impressive buildings / building groups remain.

Positive characteristics:

- Strong mix of commercial and residential uses – flats above shops and housing on adjacent streets
- Mix of 2-3 storey Victorian buildings with red brick or white rendered frontages and slate roofs
- Landmark / higher status buildings
- Examples of “Regency” style architecture along Belle Vue Street
- Simple roof forms, multi-level bay windows



Figure 6.94: Evron Centre



Figure 6.95: Figure-ground diagram



Figure 6.96: Murray Street



Figure 6.97: Union Street

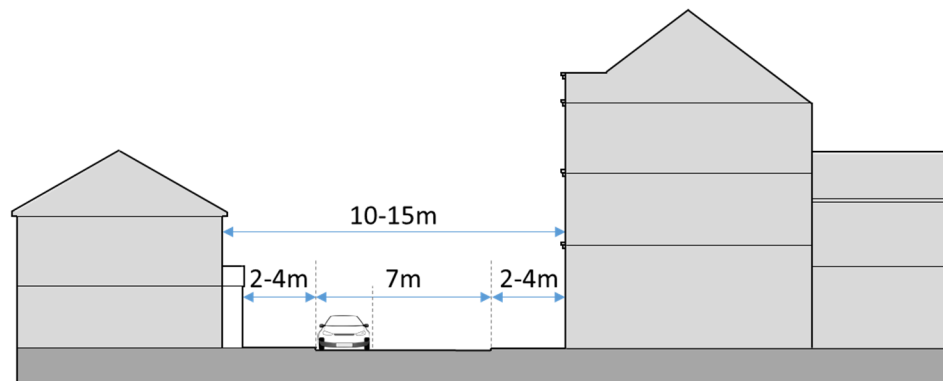


Figure 6.98: Typical street section (Murray Street)



Figure 6.99: John Street



Figure 6.100: Belle Vue Street

Seafront

6.44 This character area extends from Church Ravine (in the north) to Crescent Hill (in the south), covering both the built-up beach frontage and the wooded slopes behind. The area comprises a mix of architectural styles, forms and scales with a variety of 3-4 storey terraces, semi-detached and grand detached buildings, all benefiting from their natural setting within Filey bay. The buildings were mainly constructed during the Victorian period, are generally of high quality and are in a good state of repair.

Positive characteristics:

- Mix of Victorian terraced, semi-detached and detached buildings up to 4 storeys high
- Properties set back from highway with small front yards and boundary walls
- Materials – Buff coloured brick frontages with slate roofs, some white rendered buildings
- Detailing – Double-height bay windows, doors with fanlights, decorative brick detailing (lintels, eaves), moulded cills, timber sliding sash windows



Figure 6.101: The Beach



Figure 6.102: The Beach



Figure 6.103: Deepdene, The Beach



Figure 6.104: The Beach



Figure 6.105: Ackworth House, The Beach



Figure 6.106: The Beach

Crescent and West Avenue

6.45 The Crescent comprises a row of visually impressive and imposing Victorian terraces, overlooking Crescent Gardens and Filey Bay below. The terraces are up to 4/5 storeys high and are in the Regency style with white painted stucco frontages, bowed windows, ornate railings, columns and other moulded details. The streets to the rear of The Crescent – including Southdene, Brooklands, Rutland Street and West Avenue – are reflective of typical brick-built Victorian architecture with a strong “Arts and Crafts” style influence.

Positive characteristics:

- High-density grid layout with imposing Victorian terraces, set back from the street with small front yards and boundary walls
- “Regency” terraces – 4-5 storeys, white stucco with slate roofs, bowed windows, iron railings, columns and other moulded details.
- “Arts and Crafts” terraces – up to 3 storeys, red brick with slate roofs, repeating gable features (in brick or black and white half-timbering) and double-height bay windows, overhanging eaves and cornice detail, decorative brickwork (stringer courses, archways, dog-toothing, etc.)
- Relationship with formal open spaces (particularly The Crescent / Crescent Gardens) and use of street trees (West Avenue)



Figure 6.107: Royal Crescent Court



Figure 6.108: Figure-ground diagram



Figure 6.109: Rutland Street



Figure 6.110: West Avenue

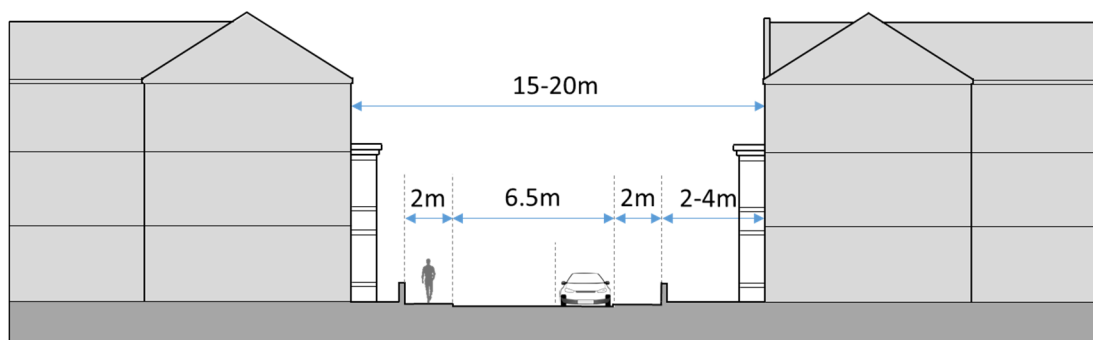


Figure 6.111: Typical street section (Rutland Street)



Figure 6.112: The Crescent, from Crescent Gardens

Station Avenue / Station Road Terraces

6.46 The imposing Victorian terraces of Station Avenue / Station Road are an important gateway feature for the town, highlighting the transition from the suburbs into the historic resort area, particularly when approaching from Muston Road. These large 2-3 storey turn of the (20<sup>th</sup>) Century terraces have buff-coloured brick frontages and repeat architectural forms and details utilised in other parts of the town (e.g. West Avenue). The streets to the rear<sup>16</sup> were constructed at a similar time but are of a lesser scale and are generally more reflective of 'byelaw' terraced housing development.

Positive characteristics:

- 2-3 storey Victorian terraces with smaller 2 storey terraces behind
- Set back from street with front yards and low-level walls
- Buff-brick frontages with slate roofs
- Strong rhythm with gables and bay windows
- Detailing – decorative brickwork in contrasting colours, lintels and cills, decorative eaves and cornice detail, front doors with fanlights



Figure 6.113: Station Road



Figure 6.114: Figure-ground diagram



Figure 6.115: The Avenue



Figure 6.116: Norman Crescent



Figure 6.117: Station Avenue



Figure 6.118: The Avenue



Figure 6.119: Station Avenue / Station Road

<sup>16</sup> Norman Crescent, Granville Road, Victoria Avenue, Carlton Road, The Avenue, Raincliffe Avenue, Cromwell Avenue

### Filey Suburbs

6.47 Perhaps more so than in either of the Borough's other main urban settlements, there are clearly identifiable and distinct suburban areas within Filey. These areas are again of varying quality and reflect market trends at their time of construction. The positive characteristics of these areas are highlighted below.

#### *1930s – 60s Inter and Post-War Expansion*

6.48 Suburban expansion of the town commenced during the inter-war period in the area between Scarborough Road and the railway line. The development of this area continued after the Second World War alongside further expansion to the east of Muston Road<sup>17</sup>. Both areas comprise a mix of short terraces and semi-detached properties, laid out in clear development blocks with front yards and generous rear gardens. The properties themselves are predominantly two-storeys in height and are of a simple hipped or gable roof form with limited design flourishes / detailing (e.g. simple entrance canopies and brick soldier-course lintels). The quality of street-level landscaping – including grass verges, street trees and linked green spaces – around the Grange Avenue / Clarence Drive area is of particular note.

#### Positive characteristics:

- Mix of terraced and semi-detached two-storey properties
- Medium density (30-40 dph)
- Clearly defined development blocks with a strong building line
- Frontages set back from the highway creates a sense of openness within the street
- Red brick and clay pantile construction
- Street landscaping – grass verges, street trees and amenity green spaces

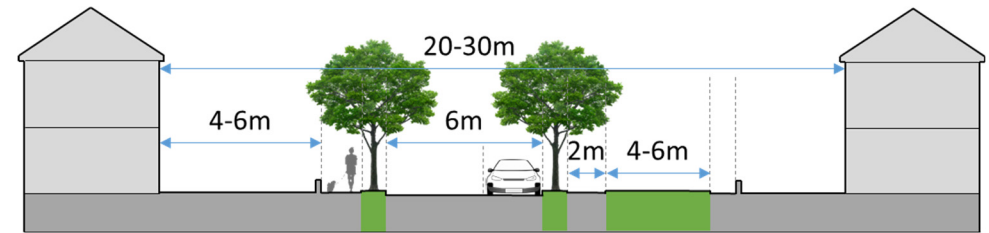


Figure 6.120: Typical street section (Grange Avenue)



Figure 6.121: Welford Road



Figure 6.122: Clarence Drive



Figure 6.123: Figure –ground diagram

<sup>17</sup> Grange Avenue, Clarence Drive, Hallam Close, etc.

### 1970s/80s Bungalows

6.49 The northern and south-eastern extents of the town – *the areas around Wooldale Drive and Wharfedale, respectively* – are dominated by extensive areas of bungalow development, mainly constructed during the 1970s/80s. Built form contrasts between the areas with properties in and around Wharfedale being mainly of hipped roof design with projecting gable elements, while the areas around Wooldale Drive comprise a greater proportion of narrow, gable-fronted detached units. Again, the quality of the public realm and the use of street trees around Wharfedale significantly enhances the character of the area.

#### Positive characteristics:

- Low to medium density residential development (20-30 dph)
- High proportion of single-storey bungalows with later (post 1980s) development including more two-storey units
- Co-ordinated use of materials – mix of red or buff coloured bricks with inset areas of render or stonework
- Projecting gables
- Landscaping; grass verges, street trees and amenity green spaces



Figure 6.126: Cawthorne Crescent



Figure 6.124: Figure-ground diagram (Wharfedale)

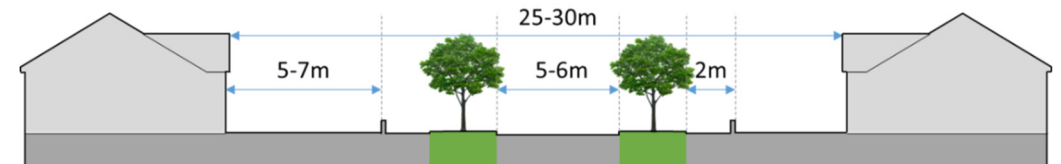


Figure 6.125: Typical street section (Wharfedale)



Figure 6.127: Wharfedale