

Whitby

6.30 The “Whitby Conservation Area: Character Appraisal and Management Proposals” document provides a much more detailed assessment of character areas within the town. Again, the areas and positive characteristics identified within this SPD seeks to capture the high-level points and are not a substitute for further empirical research, be that in the form of additional reading (e.g. conservation area appraisals) or physical surveys.



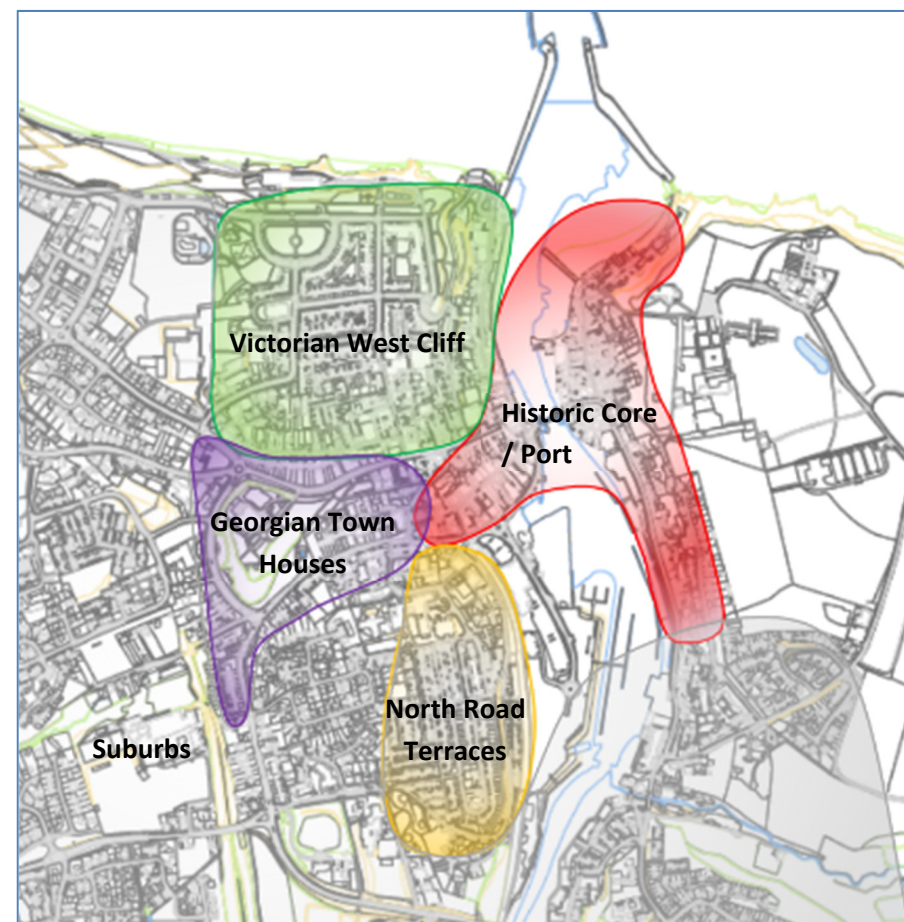
Figure 6.53: View of New Quay Road and of the Swing Bridge, from Church Street



Figure 6.54: View of Whitby Abbey / Abbey Headland, from East Terrace

6.31 Whitby can be broken down into the following character areas.

- Historic Core / Port
- Georgian Town Houses
- Victorian West Cliff
- North Road Terraces
- Suburbs



Historic Core / Port

6.32 The historic core of the town sits at the foot of the Abbey Headland and on the eastern bank of the River Esk, where old fishermen's and shipbuilder's cottages are packed together, composed along narrow streets, yards and ginnels. This character area extends over to the west side of the River, where the medieval street pattern and tight grain of development continues, albeit in an area with typically larger commercial buildings.

Positive characteristics:

- Views across the River Esk (high inter-visibility) and backdrop of Whitby Abbey / Abbey Headland
- Organic pattern and form of development
- Frontage buildings directly addressing the street with buildings behind
- Yards and ginnels
- Tall buildings (mix of 2, 3 and 4 storeys) with flat and narrow frontages
- Mix of red brick, render and stone buildings with pantiles
- Coble roads, stone gulleys and kerbs with flagstone footpaths
- Traditional detailing – lintels, cills and door surrounds
- Timber sliding sash windows, including the 'Whitby Composite' sash



Figure 6.55: White Horse Yard



Figure 6.56: Whitby Composite sash

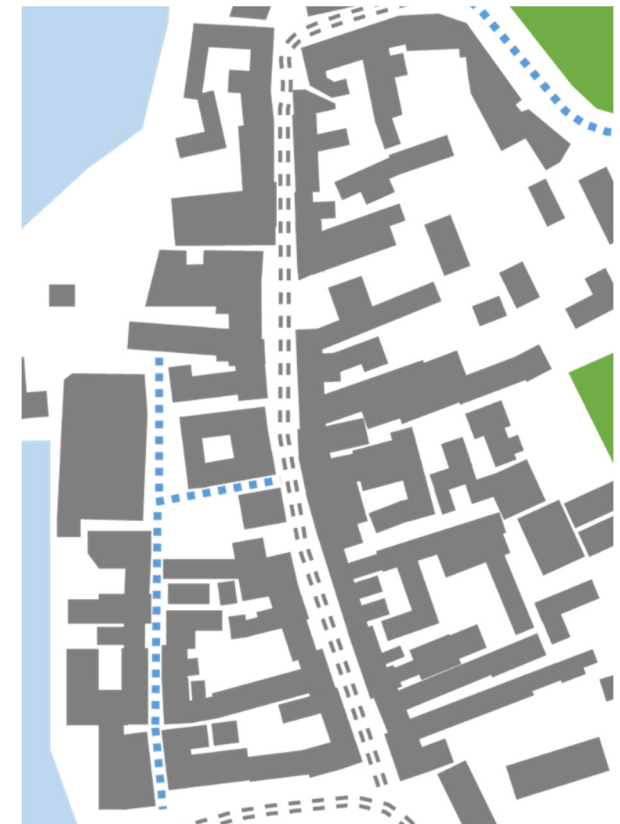


Figure 6.57: Figure-ground diagram

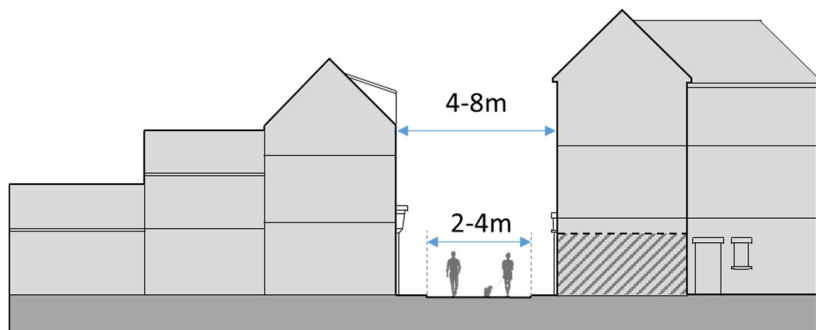


Figure 6.58: Typical street section (Church Street)



Figure 6.59: Henrietta Street



Figure 6.60: Church Street

Georgian Town Houses

6.33 The areas around Pannett Park, namely St Hilda's Terrace and Bagdale, are characterised by rows of adjoining (late 18th Century) Georgian town houses that are set well back from the street with generous front gardens. Although constructed separately, these elegant properties are unified by their palette of materials (mainly red brick with slate roofs) and Georgian detailing and can be read as terraces.

Positive characteristics:

- Grand 3-4 storey Georgian town houses set out as terraces following linear street pattern
- Building line set back from the street with generous front gardens, often with front boundary walls and iron railings
- Materials – predominantly red brick with slate roofs, some stone frontages and some clay pantile roofs
- Georgian detailing – Decorative porticos, doors with fanlights, timber sliding sash windows, quoins, moulded lintels and cills, stringer courses, parapets, decorative eaves and cornice detailing
- Transition to 3-4 storey Victorian terraces along Prospect Hill, with bay windows, decorative mouldings, windows, cills and eaves details



Figure 6.61: Bagdale



Figure 6.62: St. Hilda's Terrace



Figure 6.63: St. Hilda's Terrace

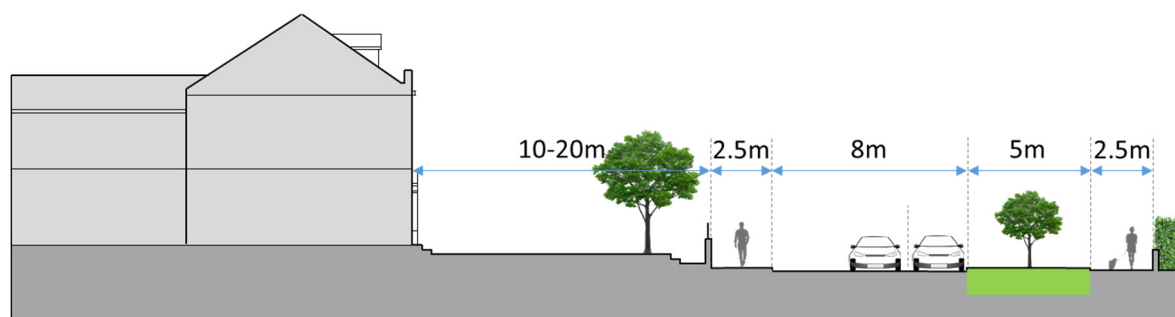


Figure 6.64: Typical street section (St Hilda's Terrace)



Figure 6.65: Figure-ground diagram

Victorian West Cliff

6.34 This character area is associated with the growth of the town as a holiday resort during the Victorian period. Royal Crescent is the centrepiece of the area, with its imposing 4-5 storey terraces composed around Royal Crescent Gardens and looking out over the North Sea. Further 3-4 storey Victorian terraces with wide streets extend eastwards towards East Terrace, overlooking the River Esk, and southwards towards Pannett Park.

Positive characteristics:

- Modified grid pattern with high-density, terraced development blocks
- Relationship with formal open spaces and the beach / sea
- Imposing 3-4 storey Victorian terraces
- Mix of red brick and rendered buildings with slate roofs
- Buildings in 'accent' materials, e.g. on corner of Hudson Street and Crescent Avenue
- Boundary walls and railings
- Bay windows (including triangular bays) and wrought iron balconies
- Detailing – lintels and cills, decorative door surrounds with fanlights, stringer courses, decorative eaves and cornice detailing



Figure 6.66: West Terrace



Figure 6.67: Hudson Street



Figure 6.68: Royal Crescent

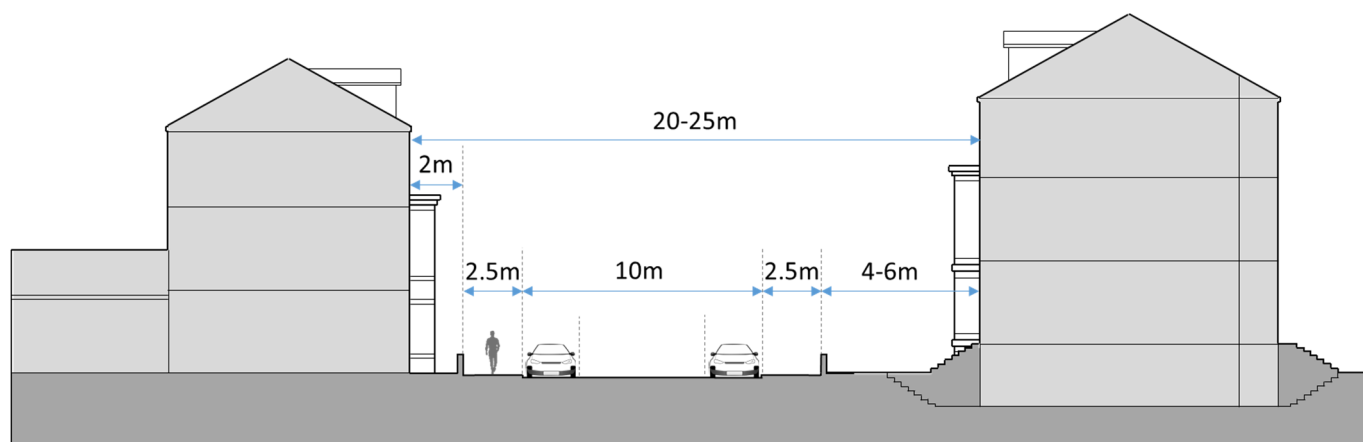


Figure 6.69: Typical street section

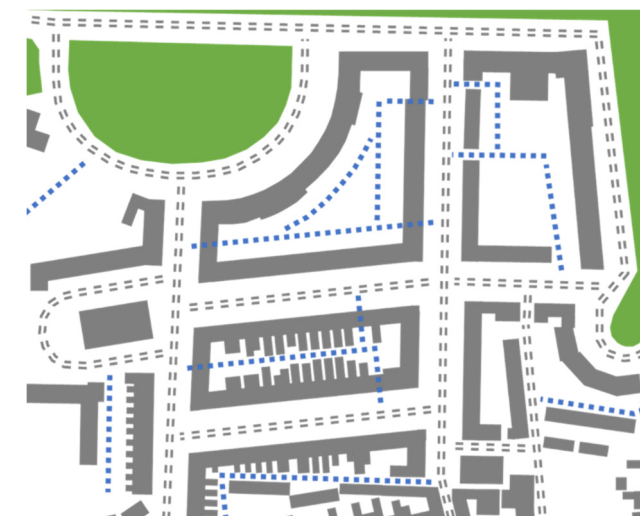


Figure 6.70: Figure-ground diagram

North Road Terraces

6.35 The late Victorian period terraces composed around North Road range from the grand 3-storey properties sited along Esk Terrace and Park Terrace closest to the River Esk, to the rows of smaller “byelaw” houses to the north and west. In addition to the different scale and form of the buildings, there is a strong contrast in the spaciousness / sense of enclosure, with the grand terraces benefitting from generous front gardens and building set back, while the smaller terraces have narrower streets and front yards of varying sizes.

Positive characteristics:

- Grid layout with high-density terraced development blocks
- Grand 3-storey buildings to Esk Terrace and Park Terrace
- Smaller 2-storey terraces behind
- Simple roofscape with consistent eaves and ridge heights
- Mix of red and yellow brick buildings, some rendered, all with slate roofs
- Front boundary walls
- Detailing – bay windows, stringer courses (moulded or accented brick), lintels and cills, fan lights and door surrounds, cornice / eaves detailing

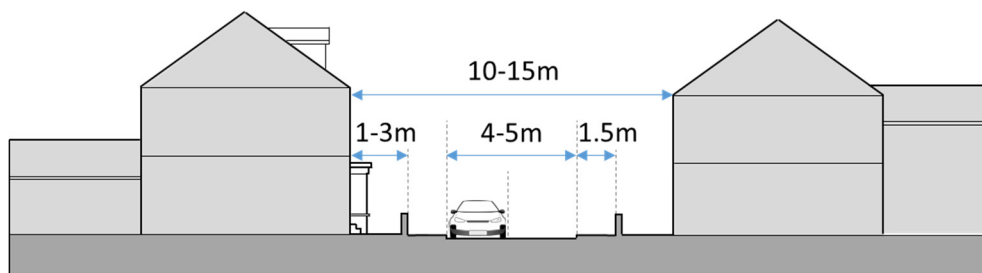


Figure 6.74: Typical street section



Figure 6.71: Scoresby Terrace



Figure 6.72: Esk Terrace



Figure 6.73: Figure-ground diagram



Figure 6.75: Park Terrace



Figure 6.76: Elgin Street

Whitby Suburbs

6.36 There are again significant variations in the character, appearance and overall quality of Whitby's suburbs. In contrast to somewhere like Scarborough, which was planned at a much greater scale and with larger areas available for development, suburban character in Whitby often changes from street to street. Broadly speaking, suburban development within the town ranges from the rows of detached properties that run along its main transport corridors, to the areas of higher density (semi-detached and short-terraced) housing that was constructed during the inter-war and post-war periods, through to the outer suburbs of the 1970s/80s and the more recent urban extensions. The positive characteristics of some of the areas are highlighted below.

1920s – 1950s Main Transport Corridors

6.37 Whitby's suburbs developed principally along the town's main transport corridors. These corridors, particularly in the west of the town¹⁴, are characterised by low-medium density (20-30 dwellings per hectare) housing development with a mix of detached and semi-detached units.

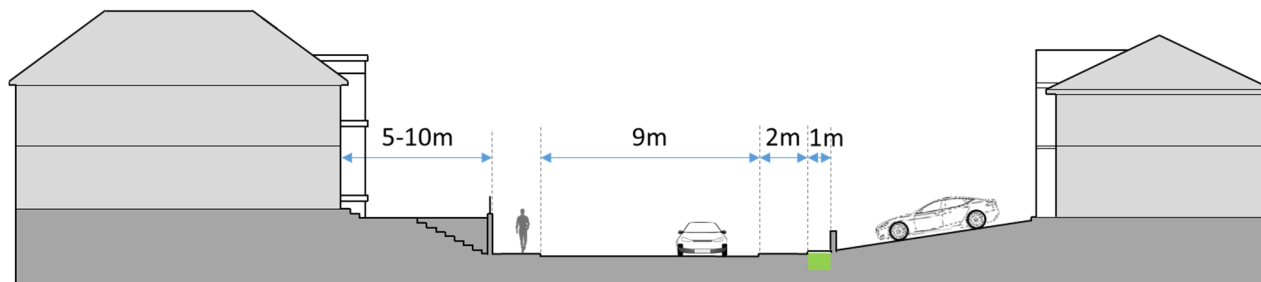


Figure 6.77: Typical street section (Stakesby Road)

¹⁴ North Promenade, Upgang Lane, Mulgrave Road, Love Lane, Castle Road, Stakesby Road, Mayfield Road

6.38 Properties are generally well spaced and are set back from the highway, which helps to create a sense of openness within the street and to provide off-street parking. In terms of scale and form, houses in these areas are predominantly two-storeys in height and are typically of hipped roof design. While there are variations in the architectural style of individual properties, projecting gables, bay windows and half-timber (mock Tudor) detailing are common design features in these areas.

Positive characteristics:

- Low-medium density development (20-30 dph) with a mix of detached and semi-detached, two-storey units
- Homes set back from highway with front gardens and boundary walls
- Mix of architectural styles
- Hipped roofs with projecting gables and bay windows
- Red brick and (upper floor) render, with either red clay pantile, plain tiles or Double Roman roof tiles
- Half-timber detailing, brick lintels, cills and stringer courses



Figure 6.78: Stakesby Road

1970s/80s Suburban Development

6.39 In contrast to Scarborough, where semi-detached homes dominated 70s/80s suburban development, the equivalent areas of Whitby¹⁵ contain a greater proportion of detached units. Homes in these areas are predominantly (though not exclusively) two-storeys in height and are either of a narrow gable-fronted, (e.g. Eskdale Road) or a wider side-gable (end) (e.g. St Andrews Road), form / design. They are mainly of red brick and interlocking concrete roof tile construction, with minimal detailing including canted bay windows, entrance canopies and hanging roof tiles.

Positive characteristics:

- Medium density development (40 dph) of predominantly two-storey detached units, with some semi-detached homes and bungalows on secondary roads
- Wide streets with properties set back from the highway to provide off-street parking
- Materials – red brick with interlocking concrete roof tiles
- Hanging tiles – between ground and first floor windows and over recessed doorways
- Canted bay windows, entrance canopies or recessed entrances



Figure 6.79: Figure-ground diagram (Pembroke Way)



Figure 6.80: Eskdale Road



Figure 6.81: Pembroke Way

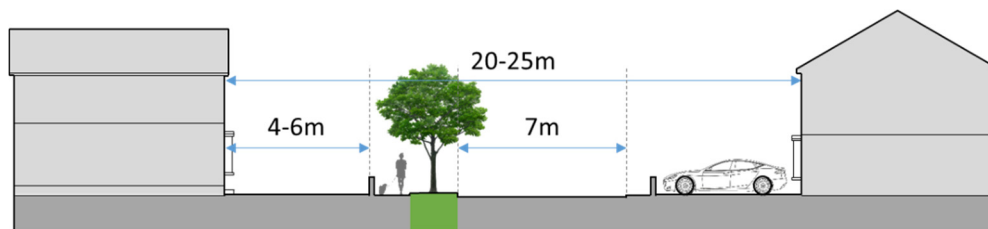


Figure 6.82: Typical street section (Eskdale Road)



Figure 6.83: Eskdale Road



Figure 6.84: Runswick Avenue

¹⁵ Areas around Eskdale Road, Pembroke Way, St Andrews Way and Runswick Avenue