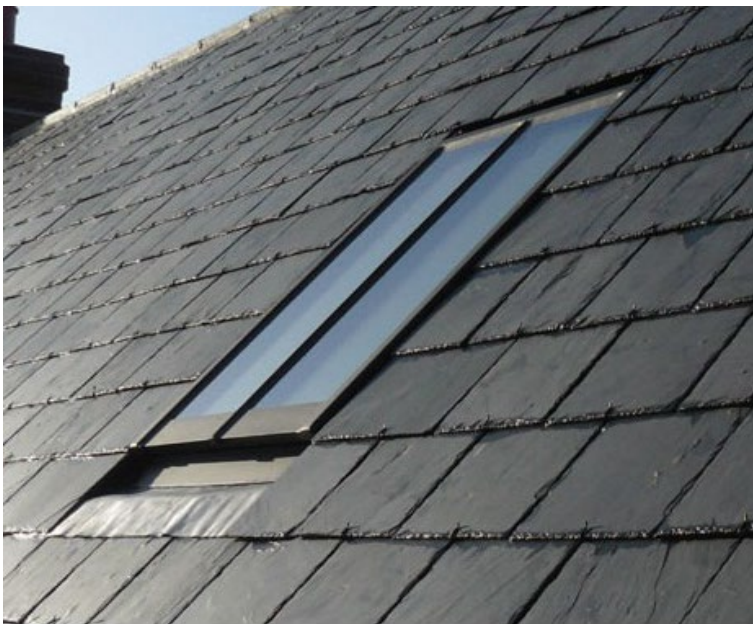


What is a conservation rooflight?

A conservation rooflight is designed to replicate the style of a traditional, cast iron 19th century roof light. The key features are:



- Installed to sit flush with the roof tiles / slates (not protruding above this line).
- Slender frame of black powder-coated steel construction.
- Top opening.
- A central glazing bar.
- Traditional ironmongery.
- Traditional lead flashing.

Above: A conservation rooflight displaying traditional details

In which circumstances should a conservation rooflight be specified?

Conservation rooflights (meeting the above specification) should be specified for use on listed buildings, non-designated heritage assets and within conservation areas but their use is encouraged on all buildings located within the historic environment.



Right: Internal view of a conservation rooflight.

What are the benefits of a conservation rooflight?

The rooflights sit flush with roof slope and so are less visually intrusive on a traditional roof than those that sit above the top of the slates / tiles. The combination of quality construction and materials is much better suited to historic buildings than the equivalent, lower quality products. The traditional appearance and detailing accords with the character of historic buildings and the historic environment generally. Additionally, the internal appearance of the rooflight is better suited to the traditional interior of an historic building.

Which manufacturers produce conservation rooflights?

At the time of writing, manufacturers that are known to produce rooflights that meet the above specification include The Rooflight Company, Lumen and Clement. If other brands are suggested by an applicant, the product should be reviewed for its ability to meet the specification listed above.

Important Note

Other manufacturers make 'conservation rooflights,' however, there are known examples which are not considered to be acceptable products for a listed building and should be used with caution for non-listed buildings. Although the products may be called a conservation rooflight, the desirable features of conservation rooflight are not necessarily standard options – the central glazing bar, recessed installation and top opening method (instead, they are often centre pivoting). Standard options for installation involve plastic flashing kits rather than traditional lead. Further, the means of installation often results in even the recessed option sitting above the roof tiles / slates. Generally, the form of construction of frame and quality of materials (usually aluminium) are not considered acceptable.



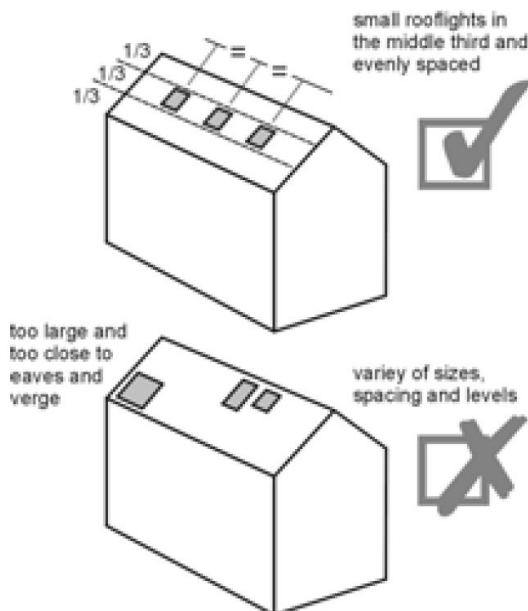
Examples of 'conservation rooflights' with non-traditional features / means of installation.

How many rooflights are appropriate and where should they be located?

For listed buildings, roof lights will never be acceptable on the front roof slope. They should also be avoided on the front roof slopes of non-designated heritage assets.

The following additional guidance is set out in the council's House Extensions & Garages Design Guide:

'Rooflights should be restricted to the rear or least visible slopes of the roof wherever possible and particularly in Conservation Areas or the Area of Outstanding Natural Beauty.'



'The size and number of rooflights should be restricted to the minimum required by Building Regulations. Wide rooflights are detrimental to the appearance of a roof...'

'Rooflights should be ideally set within the middle third of the roof slope. Also they should be set away from the gables (verges) or roof abutments and from chimneys or dormers. If there is to be more than one rooflight, they should be set at the same level and evenly spaced.'

'Rooflights should not be sited opposite each other on both roof slopes near to the ridge or on a small roof. This is to prevent daylight penetrating or appearing as a hole clear through the roof...'

However, on converted farm buildings, regular spacing is not necessarily a desirable approach as in general rooflights should be avoided unless very limited in number and size and where sited in locations that are not highly visible.

Are there any other considerations to take into account?

Escape rooflights – A means of escape may be required in order to meet Building Regulations in some situations and this may require a side opening rooflight. Each case should be assessed individually in order to determine whether the proposed type of rooflight is justified / appropriate.

Intervention to roof structure on listed buildings - If the insertion of a rooflight is considered acceptable, it should not be at the expense of principal, historic roof timbers. Removal of historic timbers should be avoided wherever possible and therefore every effort should be made to ensure that rooflights can be inserted between rafters and avoid conflict with purlins.

Pantiles – The visual impact of a typical standard rooflight will be greater on a pantile roof due to the profiled nature of the tiles and also where a non-traditional means of flashing is used (see photo on page 2). The use of conservation rooflights should therefore be strongly considered on all pantile roofs as a means to avoid this.

Contemporary styles of rooflight – It may sometimes be acceptable to allow contemporary styles of rooflights, if of high quality detailing and if appropriate to the host building, for example, within a contemporary extension to an historic building.

Do I need planning consents to install rooflights?

Listed building consent is always required for the insertion of a rooflight/s in a listed building. Also, if it is proposed to replace an existing conservation rooflight with a lesser quality, non-traditional rooflight, this will require listed building consent.

For a single dwelling (non-listed), new rooflights will require planning permission if:

- They protrude more than 0.15 metres beyond the plane of the original roof slope.
- It would result in the highest part of the alteration being higher than the highest part of the original roof.

Rooflights installed under these permitted development rights that are on a roof slope forming a side elevation must be:

- Obscure glazed; and
- Non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.

Please note that Building Regulations approval may also be required. Further information can be found on the council's [Building Control](#) webpages.

Planning permission may be required and it is recommended to check first whether permission is required. Details of how to check can be found on our ['Do I need planning permission?' webpage](#).

Enquiries relating to listed buildings only can be forwarded to heritage@harrogate.gov.uk

Other conservation and design guidance notes

Additional conservation and design guidance notes are available:

Note 2 – Listed Buildings

Note 3 - Window Repair and Replacement in Listed Buildings

Note 4 – Non-Designated Heritage Assets

Note 5 – Conservation Areas

Note 6 – Curtilage Listing

Note 7 – Stone Slates